



DISTRICT COUNCIL OF ROBE ASSESSMENT PANEL

Notice of Meeting

Pursuant to Section 83 of the Planning, Development and Infrastructure Act 2016, Notice is hereby given that a Meeting of the Assessment Panel will be held on **Wednesday, 16th December 2020 at 1.00pm** at the District Council Chambers, Smillie Street, Robe.

A handwritten signature in blue ink that reads "D Dawson".

Damian Dawson
ASSESSMENT MANAGER

DISTRIBUTION LIST

Panel Members

Independent Members	John Petch (Presiding Member)
	Tim Rogers
	Ernst Jury
	David Yates
Elected Member	Ned Wright
Proxy Elected Member	

Council Officer

Development Officer/Minute Taker – Michelle Gibbs
Assessment Manager/Planning Consultant – Damian Dawson, Planning Chambers

Please note: Report attachments are not included in this Agenda due to copyright laws. Report attachments are provided to members of the Development Assessment Panel to facilitate decision making.

DISTRICT COUNCIL OF ROBE

COUNCIL ASSESSMENT PANEL

ORDER OF BUSINESS

1. **WELCOME**
2. **ATTENDANCE**
3. **APOLOGY**
4. **CONFIRMATION OF MINUTES**
5. **BUSINESS WITH NOTICE**
6. **CONFLICT OF INTEREST**
7. **EXCLUSION OF PUBLIC**
8. **DEVELOPMENT APPLICATION**
9. **CONCLUSION OF CLOSED MEETING**
10. **APPEAL UPDATE**

1. **WELCOME**
2. **ATTENDANCE**
3. **APOLOGY** – Tim Rogers

4. **CONFIRMATION OF MINUTES OF PREVIOUS MEETING**

_____ moved that the minutes of the CAP meeting held on 28 July 2020 as circulated are confirmed as an accurate record of the proceedings of the meeting

Seconded _____

5. **BUSINESS WITH NOTICE**

6. **CONFLICT OF INTEREST**

7. EXCLUSION OF PUBLIC

Moved _____ that the Panel resolves that it will exclude the public from attendance during that part of the meeting that consists of its discussion or determination by the Panel under Regulation 13 (2) (b) of the Planning, Development and Infrastructure (General) Regulations 2017, excepting for the following persons:-

- Damian Dawson (Assessment Manager)
- Michelle Gibbs (Development Officer/Minute Taker)

Seconded _____

8. DEVELOPMENT APPLICATIONS

8.1	Application No.	822/067/20
	Applicant:	Andrew Lawrie c/- Hosking Willis Architecture
	Subject Land	7 Sturt Street, Robe
	Proposal	Single storey dwelling
	Zone	Residential Character Zone
	Land Use Category	Residential
	Public Notification	Not required - Merit – category 1
	Lodgment date:	11 July 2020

9. CONCLUSION OF CLOSED MEETING

Moved _____ that the Panel resolves to conclude its exclusion of the public from attendance at the meeting under Regulation 13 (2) (b) of the Planning, Development and Infrastructure (General) Regulations 2017.

Seconded _____

10 APPEAL UPDATE

District Council of Robe
Council Assessment Panel

Minutes of the Council Assessment Panel Meeting held 28 July, 2020 commencing at 5.05pm at the Robe Golf Club, Morphett Street, Robe.

PRESENT

Mr John Petch (Presiding Member), Mr Tim Rogers (Deputy Presiding Member), Cr Ned Wright (Elected Member), Mr Ernst Jury (Independent Member) and Mr David Yates (Independent Member)

APOLOGY

Public – Penny Day & Tim Mort

IN ATTENDANCE

Damian Dawson (Assessment Manager), Michelle Gibbs (Development Officer)

WELCOME

Presiding Member welcomed members, staff and the gallery to the meeting.

The Presiding Member outlined the process of the Council's Assessment Panel (CAP) meeting to the members of the gallery, advising that the role of the CAP is to assess Development Applications against the planning provisions contained in Council's Development Plan.

The Presiding Member advised that the Representors and Owner would be invited to address CAP and answer any questions from Panel Members, and then there would be a closed section of the meeting, where the public is excluded, to discuss and consider the Application. The public gallery was advised that they could contact Council the next day and find out the outcome.

CONFIRMATION OF MINUTES

Cr Wright moved that the minutes of the CAP meeting held on the 15 October 2019, as circulated are confirmed as an accurate record of the proceedings of the meeting.

Seconded Mr Yates

Carried

BUSINESS WITH NOTICE

Nil

CONFLICT OF INTEREST

None declared

LIST OF DELEGATED APPROVALS

Mr Jury moved that the list of Development approvals for the period 1.10.19 to 30.6.20 be received.

Seconded Mr Yates

Carried

DEVELOPMENT APPLICATION

Application No.	822/041/20
Applicant:	Optus c/- CommPlan
Owner:	District Council of Robe
Subject Land:	Section 128, 6 O'Halloran Street, Robe
Zone:	Open Space Zone
Proposal:	Telecommunication facility consisting of a 30m high monopole with attached antennas and associated equipment, shelter and fencing

Representors

Mr Jock Main spoke to his representation

Mrs Ruth Main spoke to her representation

Mr Roland Day spoke to her representation

Mr Peter Westley spoke to his representation

Applicant

Ms Lynette Brandwood, Huawei addressed the Panel in support of the application.

Exclusion of Public

Mr Rogers moved that the Panel resolves that it will exclude the public from attendance during that part of the meeting that consists of its discussion or determination of any Development Application or any other matter that falls to be decided by the Panel under Regulation 13 (2)(b) of the Planning, Development and Infrastructure (General) Regulations 2017.

Seconded Cr Wright

Carried

The Panel moved into "In Confidence" at 5.40pm

Cr Wright moved that Development Application 822/041/20 for a telecommunications facility at 6 O'Halloran Street, Robe is not seriously at variance with the District Council of Robe Development Plan, Consolidated 15 December 2016.

That the Council Assessment Panel grant Development Plan Consent to Development Application 822/041/20 subject to the following conditions:-

1. The Development shall be carried out in accordance with plan/s and details as approved by Council except where required to be varied by any condition of consent or where approval is sought from and granted by Council, for any variation. Reason: To ensure the development proceeds in an orderly manner.
2. The telecommunications facility shall be painted or finished in a light grey colour and maintained to the satisfaction of Council. A sample of the proposed colour/finish shall be provided to the satisfaction of Council prior to the issue of Development Approval.

Seconded Mr Yates

Carried

CONCLUSION OF CLOSED MEETING

Moved Mr Rogers that the Panel resolves to conclude its exclusion of the public from attendance at the meeting under Regulation 13(2)(b) of the Planning, Development and Infrastructure (General) Regulations 2017.

The Panel moved out of "In Confidence" at 6.09pm.

Seconded Cr Wright

Carried

LATE ITEM

12. Delegations

Moved Mr Rogers that:-

12.1 Resolution to Delegate Powers of an Assessment Panel as a Relevant Authority under the Planning, Development and Infrastructure Act 2016

1. In exercise of the power contained in Section 100 of the Planning, Development and Infrastructure Act 2016 the powers and functions under the Planning, Development and Infrastructure Act 2016 and statutory instruments made thereunder contained in the proposed Instrument of Delegation (annexed to the CAP Report dated 28 July 2020, Item 12.1) are hereby delegated this 28th day of July 2020 to the District Council of Robe Assessment Manager and CEO subject to the conditions and/or limitations, if any, specified herein or in the Schedule of Conditions in the proposed Instrument of Delegation.
2. Such powers and functions may be further delegated by the District Council of Robe Assessment Manager and CEO in accordance with Section 100(2)(c) of the Planning, Development and Infrastructure Act 2016 as the Assessment Manager sees fit, unless otherwise indicated herein or in the Schedule of Conditions contained in the proposed Instrument of Delegation.

Seconded Mr Yates

Carried

Moved Cr Wright that:-

12.2 Standing referral for CAP to delegate building consent applications to councils

- 1) The District Council of Robe Council Assessment Panel (**Panel**) determines to act under Section 99(1)(b) of the *Planning, Development and Infrastructure Act 2016 (the Act)* in relation to all development applications received by it that involve the performance of building work.
- 2) Pursuant to Section 99(1)(c) of the Act, where the Panel has determined to act under Section 99(1)(b) of the Act, the Panel refers the assessment of the development in respect of the Building Rules to the District Council of Robe.

Seconded Mr Jury

Carried

CLOSURE

Meeting closed at 6.31pm

_____ ASSESSMENT MANAGER

_____ PRESIDING MEMBER



Planning Chambers Pty Ltd

Office
219 Sturt Street Adelaide SA 5000

Postal Address
P.O Box 6196 Halifax Street SA 5000

Office 08 8211 9776
Email admin@planningchambers.com.au
Fax 08 8212 5979

ABN 54 093 576 900

11 December 2020
822.067.20 CAP Report

The Chief Executive Officer
District Council of Robe
PO Box 1
ROBE, SA 5276

ATTENTION: Ms. M. Gibbs

Dear Michelle,

RE: DA 822/067/20 - PROPOSED SINGLE STOREY DETACHED DWELLING – 7 STURT STREET, ROBE

As instructed, the following report provides an assessment of the abovementioned development application against the relevant provisions of Council's Development Plan.

In preparing this report I have reviewed the application documents, visited the subject land and locality and reviewed the relevant provisions of the Development Plan.

The following report and recommendation are provided for the consideration of Council's Assessment Panel.

1.0 DEVELOPMENT DETAILS

Proposed Development:	Single storey dwelling
Development Application Number:	822/067/20
Applicant:	Mr. Andrew Lawrie c/o Hosking Willis Architecture
Owner:	As above
Property Address:	7 Sturt Street, Robe
Certificate of Title:	Volume 5476 Folio 40
Land Use:	Residential
Zone:	Residential Character Zone
Public Notification:	Category 1
Application Lodged:	11 June, 2020
Authorised Development Plan	Robe Council, Consolidated 15 December 2016



2.0 SUBJECT LAND AND LOCALITY

The subject land is described in Certificate of Title Volume 5476 Folio 40 as being Lot 83 in Township Plan 441801 and is not subject to any easements or endorsements.

The subject land is regular square shaped allotment with a frontage to Cooper Street of approximately 32 metres along the southern boundary and a frontage of 32 metres to Sturt Street along the eastern boundary. The subject land has an area of approximately 1,024m². The subject land and locality are shown within Figure 1 below.



Figure 1: Subject land and locality

The subject land falls from the Sturt Street frontage down to northern boundary with a flatter portion adjacent to the northern boundary.

The land is currently developed with a two-storey detached dwelling within the southern portion of the allotment adjacent to Sturt Street. Vehicle access is provided via an existing crossover from Cooper Street located approximately 12 metres from the northern boundary.



The locality consists of a range of residential development including single and two storey dwellings with some modest older style dwellings and newer more contemporary larger dwellings.



Figure 2: Subject land as viewed from the corner of Sturt and Cooper Streets looking north



Figure 3: Subject land as viewed from Cooper Street showing the vacant portion of the land at the northern end of the allotment



3.0 PROPOSED DEVELOPMENT

The proposal envisages the construction of a single storey detached dwelling within the northern portion of the subject land along with the demolition of the spa/pool and deck at the rear of the existing dwelling. Whilst the proposal does not include the division of the subject land indicative allotment boundaries are shown upon the proposed site plan. It is understood that should the proposal be approved an application to divide the land as indicated will be submitted.

The proposal dwelling consists of a single carport, two bedrooms, living room with open plan kitchen and dining room, laundry and covered outdoor area. The outdoor area is to be located along the northern boundary and includes a barbeque and spa with access from the living area. Landscaping is proposed within the front yard and along portions of the side and rear boundaries. A rainwater tank and service yard are proposed between the dwelling and rear boundary.

Vehicle access to the dwelling is proposed to be gained via a new 3 metre wide crossover from Cooper Street, located 6.9 metres from the northern boundary.

The proposed dwelling is setback approximately 5 metres from the Cooper Street frontage, 1 metre from the northern boundary, 2.5 metres from the western/rear boundary, 1 metre from the indicative southern boundary and 1.9 metres from the existing dwelling upon the subject land to the south.

The proposal will have a wall height of 2.9 metres and a roof height of 5 metres as measured from the finished floor level.

The dwelling is of a contemporary design utilising a mixture of materials including fibre cement sheet cladding and limewash face brickwork on the external walls, colorbond roofing and powder coated aluminium framed doors and windows.

A complete set of plans has been provided by the applicant and is attached.

4.0 PUBLIC NOTIFICATION

The proposal is a merit form of development within the Residential Character Zone and is a Category 1 form of development under Schedule 9 of the Development Regulations, 2008.

5.0 REFERRALS – STATUTORY & INTERNAL

The application was not subject to any referrals to Government Agencies under Schedule 8 of the Development Regulations 2008.

Heritage

The subject land is located within the Historic Conservation Area. As such the application was referred to Council's Heritage Advisor for review and comment.



Council's heritage advisor Mr. Richard Woods has undertaken an assessment of the proposal against the heritage provisions of the Development Plan. A copy of Mr Woods' comments is attached and summarised below:

- This is a mid-block site, sandwiched between two intrusive buildings that detract from the heritage character. There are state and local heritage buildings in the locality but not the immediate vicinity.
- The outdoor living areas are included under the main roof at the rear of the dwelling. As a result, the proposed dwelling takes up most of the small site and the built form/site coverage is excessive relative to the historic area.
- The outdoor areas under the main roof are not open space. The roof over contributes to the bulk and minimal setbacks of the rear part of the dwelling. The rear setback is a service zone. This will impact the adjoining back yards but would have no streetscape impact.
- The excessive site coverage would also impact the amenity of the site and adjoining outdoor living spaces because there is not sufficient space for vegetation of a suitable scale to soften the built form (trees). Trees are part of the desired heritage character of the area.
- On balance, I consider that PDC 1 and 19 are not satisfied.
- As a mid-block infill building, assessed for streetscape impact, the bulk and scale of the proposed dwelling - the gable facade and the parapet carport - is appropriate. The proposed dwelling will present a smaller streetscape bulk and scale compared to the dominant adjacent dwelling on the Sturt Street corner. The facade is articulated and well composed.
- However, the masonry carport parapet in its current form dominates the facade due to its height and proportions.
- The proposal in its current form has no front fences. I recommend that front fences or walls and landscaping should form part of this application.

The Heritage Advisor has concluded that subject to conditions relating to the height of the parapet wall above the carport and the inclusion of a front fence '*the proposed development will not have an adverse impact on the Historic Conservation Area*' however '*the excessive site coverage is a separate planning matter*'.

6.0 DEVELOPMENT ASSESSMENT

The subject land is located within the Residential Character Zone and Historic Conservation Area as illustrated on Zone Map Ro/7 and Heritage Overlay Map Ro/7 of Council's Development Plan. The land is not located in any policy area as shown on Policy Area Map Ro/7.



6.1 RELEVANT PROVISIONS

In assessing the development proposal, I have had regard to the Residential Zone, Historic Conservation Area and the general provisions of the Development Plan, consolidated 15 December 2016.

Those provisions which are of most relevant to the proposal include:

Residential Character Zone

Objectives: 1, 2 & 3

Principles: 1, 3, 6, 7, 8, 12, 13, 14, 15 & 16

Council Wide

Design and Appearance

Objective: 1

Principles: 1, 2, 3, 4, 6, 7, 8, 10, 11 & 16

Historic Conservation Area

Objectives: 1, 2, 3 & 5

Principles: 1, 4, 5, 8, 9, 10, 11, 14 & 15

Interface between Land Uses

Objective: 1

Principles: 1, 2, 6 & 7

Land Division

Objectives: 1, 2, 3 & 4

Principles: 1, 2, 5, 6 & 9

Landscaping, Fences and Walls

Objectives: 1 & 2

Principles: 1, 2, 3, 4 & 5

Orderly and Sustainable Development

Objectives: 1, 2, 3, 4 & 6

Principles: 1, 4, & 8

Residential Development

Objectives: 1, 2 & 3

Principles: 1, 3, 7, 8, 10, 11, 12, 15, 16, 18, 19, 20, 21, 22 & 31

Tables

Ro/2 – Off Street Vehicle Parking Requirements



6.2 ASSESSMENT DISCUSSION

The proposal seeks to develop a single storey detached dwelling upon a portion of the subject land which is currently underutilised by the applicant. Consideration has been given to the form and appearance of the proposed dwelling as well as the size and dimension of the future allotment to accommodate the proposed dwelling.

It is acknowledged that the design, siting and appearance of the proposed dwelling generally satisfies the relevant provisions within the zone. The single storey scale, general form, front and side setbacks and car parking meet the minimum requirements within the zone as sought by Principles of Development Control (PDC) 13, 14 & 15 and expressed within the table below:

Parameter	Development Plan Requirement	Proposed	
Setbacks			
- Primary Street	6 metres	5 – 6.5 metres	Does not comply
- Side	1 metre	<u>Southern boundary (Indicative boundary)</u> 1 metre <u>Northern boundary</u> 1 metre	Complies Complies
- Rear	5 metres	2.5 metres	Does not comply
Site coverage	Maximum 50%	Total site coverage 64% (approximately 220m ²)	Does not comply
Site Area	450m ² min	344m ²	Does not comply
Min frontage	10 metres	10.8 metres	Complies
Max Height	6.5 metres	5 metres	Complies
Min Private open space	20 m ² per bedroom (40 m ² total)	70m ² approx.	Complies
Garage			
- Area	50m ² max	17.26m ²	Complies
- Maximum Height	4 metres	3 metres	Complies
- Maximum wall height	2.7 metres	2.9 metres	Minor non-compliance
- Minimum setback from side	0.6 metre	Side boundary - 1 metre	Complies



and rear boundaries			
- Minimum setback from public road	500 mm behind the associated dwelling	1 metre behind the associated dwelling	Complies
Car parking spaces	2 spaces (one covered)	2 spaces with one covered	Complies

The main failings of the proposal against the quantitative requirements of the zone relate to the proposed allotment size, site coverage and rear setback. The proposed allotment size of 344m², whilst it satisfies the minimum frontage requirement of 10 metres, falls approximately 100m² under the minimum allotment size sought within the zone. In my view the failure of the proposal to meet the minimum allotment size has resulted in several follow-on effects whereby the proposed dwelling fails to satisfy the maximum site coverage and achieve the required rear setback of 5 metres, with only 2.5 metres proposed.

Whilst some amendments could be made to the dwelling design to achieve a greater level of compliance with the site coverage and setbacks the allotment size is significantly less than the minimum desired within the zone. Whilst the applicant has pointed to other allotments within the surrounding area a review of the actual size of these allotments reveals that the proposed allotment will be the smallest within the locality as shown within Figure 4 below.

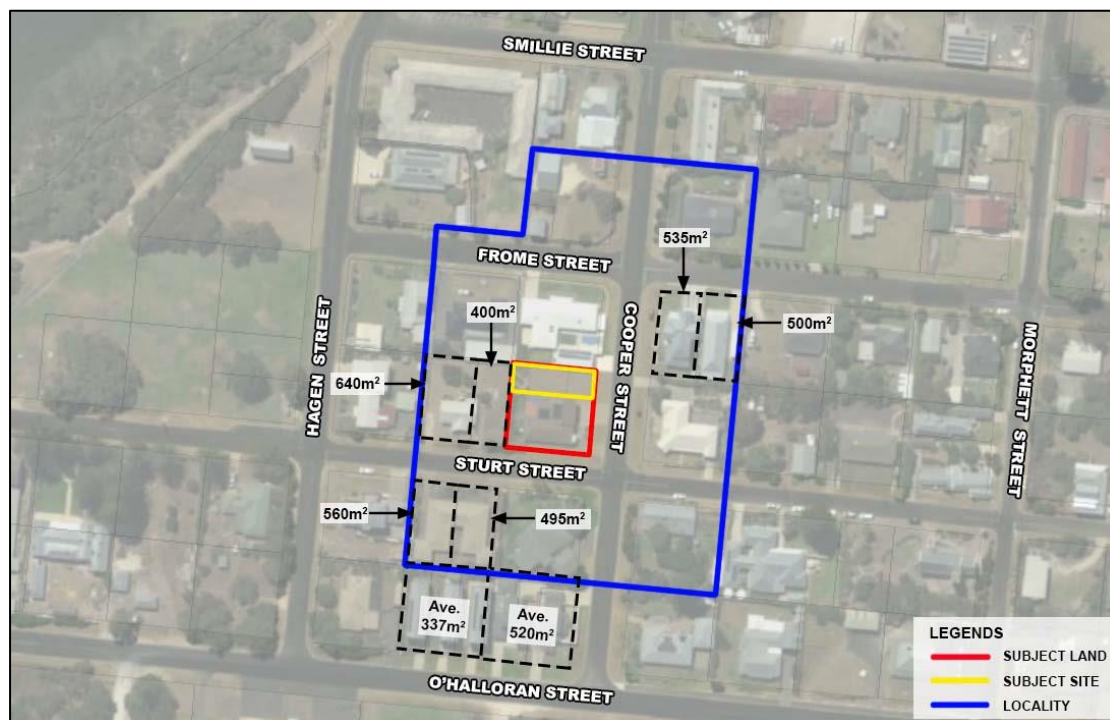


Figure 4: Allotment sizes within the locality



Only one allotment within the locality is under the minimum of 450m², being the adjoining allotment to the west (400m²) which satisfied the previous minimum allotment size of 400m² which applied at the time it was divided in 2006.

Whilst Council's Heritage Advisor has raised a concern in relation to the proposed site coverage of the dwelling, he is comfortable with the proposal in terms of the potential impacts upon the character of the Historic Conservation Area, subject to some minor amendments. I am also comfortable that the proposed design of the dwelling generally satisfies the desire for single storey dwellings which are compatible with the heritage character of the old township. The roof form, composition of the front façade, setting back of the single carport and choice of external materials and finishes are considered appropriate.

Historic Conservation Area PDC 15 states that *'the division of land should occur only where it will maintain the traditional pattern and scale of allotments'*. This is supported by Zone Objective 1 which states that development within the zone should preserve *'the existing development patterns and built form'* and Zone PDC 3 which seeks that infill development be *'compatible with adjoining residential development'*. In this respect the division is at odds with the traditional scale of allotments in so far as it will create an allotment that is markedly smaller than allotments within the locality, particularly along Cooper Street. It is acknowledged that whilst some allotments have a similar frontage/width none are of the scale proposed. To approve the proposal, would in my opinion, be at odds with the prevailing character of the locality which is characterised by allotments of 500m² and greater which have been developed with dwellings and outbuildings with greater setbacks and sense of space between them than that which is proposed.

The proposed site coverage and minimal side and rear setbacks result in a built form which covers most of the allotment behind the front façade/building line. The private open space, whilst it satisfies the minimum area sought within the zone, is almost completely roofed, other than a 2.5 metre wide landscaped strip along the rear boundary and a 1 metre setback from the northern/side boundary. In my view the proposal does not provide a sufficient degree of separation to the adjoining buildings and private open space of the neighbouring properties and in this sense is at odds with the established character of the locality.

7.0 CONCLUSION

The applicant seeks to develop a single storey dwelling in the form of an infill development within the Historic Conservation Area. It is acknowledged that in the most part the proposal does satisfy many of the quantitative and qualitative provisions and has the support of Council's Heritage Advisor. The general form and design are appropriate within the zone, however the reliance on the minimum setback along both side boundaries and the site coverage proposed is at odds with what I believe to be the more spacious character of the Historic Conservation Area. When coupled with the clear failure of the proposal to meet the minimum allotment size it is my view that the balance of the assessment is tipped towards refusal.

The argument outlined by Access Planning within their report submitted as a part of the application is acknowledged. In the most part I concur with the assessment of the



proposal against the general provisions relating to land division, residential development and design and appearance. It is recognised that the assessment is finely balanced, and the positives of the proposal are acknowledged, however for the reasons outlined above, and within the recommendation below, in this instance the proposal is not considered to display a sufficient degree of compliance with the relevant provisions of the zone and Historic Conservation Area to warrant Development Plan Consent.

8.0 RECOMMENDATION

That Development Application 822/067/20 for a single storey dwelling at 7 Sturt Street, Robe is not seriously at variance with the District Council of Robe Development Plan, Consolidated 15 December 2016.

That the Council Assessment Panel refuse Development Plan Consent to Development Application 822/067/20 as the proposal does not adequately address or satisfy the following provisions of Council's Development Plan:

Residential Character Zone

Objective 1: A residential zone ensuring the preservation of the existing development patterns and built form.

PDC 3: Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.

PDC 13: Dwellings should be designed within the following parameters:

<i>Minimum setback from rear boundary</i>	<i>5 metres</i>
<i>Maximum site coverage</i>	<i>50 per cent</i>

PDC 15: A dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

<i>All dwelling types</i>	<i>450 m²</i>
---------------------------	--------------------------

Historic Conservation Area

PDC 15: The division of land should occur only where it will maintain the traditional pattern and scale of allotments.



I will be present at the CAP meeting to answer any questions that the Panel may have in relation to the above assessment.

Yours sincerely

Planning Chambers Pty Ltd

Damian Dawson MPIA

Assessment Manager

Attachment A: Application documents

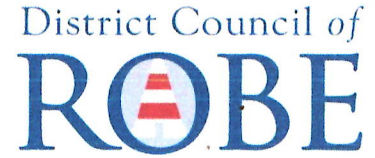
Attachment B: Heritage Advisor comments

ATTACHMENT A

Application Documents

Development Application Form

District Council of Robe
 Royal Circus
 Robe SA 5276
 Tel 08 87682003
 Email council@robe.sa.gov.au
 Website www.robe.sa.gov.au



Development Act 1993

Development Number: 822/ /		Previous development number: 822/ /	
Application type (please tick one box only)			
Planning consent only <input checked="" type="checkbox"/>		Building Rules consent only <input type="checkbox"/>	Full Development Approval <input type="checkbox"/>
Location of proposed development:			
House no: 7	Lot No:	Street: STURT STREET	
Hundred:	Volume:	Folio:	
Details of parties:			
Applicant: MR ANDREW LAWRIE			
Address: 7 STURT STREET			P/code: 5276
Mobile: 0409 355 534	Phone:	Email: andrewlawrie@y7mail.com	
Owner: AS ABOVE			
Address:			P/code:
Mobile:	Phone:	Email:	
Builder: MR WARREN TUCKER			
Address:			P/code:
Mobile:	Phone: 0415 172 584	Email: wltucker@b:gpound.com	
Principal contact: Applicant <input type="checkbox"/>	Owner <input type="checkbox"/>	Builder <input checked="" type="checkbox"/>	
Description of proposed development:			
Description of proposed development – (eg. Dwelling, shed, shop, demolition)			
NEW DWELLING			
Development costs: (does not include any fit out costs):		\$ 400,000	Floor area: 199 m ²
Note: Council may require written justification to verify costs.			
Declarations:			
a. Building rules:- Classification sought <input type="checkbox"/>	Present class <input type="checkbox"/>		
b. If class 5, 6, 7, 8 or 9 is sought state the proposed no. of employees		Male	Female
c. If class 9a classification is sought, state the number of persons for whom accommodation is provided			
d. If class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises:			
e. Does either Schedule 21 or 22 of the Development Regulations 2008 apply?		Yes <input type="checkbox"/>	No <input type="checkbox"/>
f. Has the Construction Industry Training Fund Act Levy been paid:		Yes <input type="checkbox"/>	No <input type="checkbox"/>
Acknowledgment/Authorisation:			
I acknowledge that copies of this application and support documentation may be provided to interested persons in accordance with the <i>Development Act 1993</i> and <i>Regulations 2008</i> .			
Name: LUKE WILLIS	Signature:		
Owner/Applicant/Builder	(Delete whichever does not apply)		Date: 11 / 06 / 2020
ARCHITECT			

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5476 Folio 40

Parent Title(s) CT 4016/391
Creating Dealing(s) CONVERTED TITLE
Title Issued 27/11/1997 Edition 2 Edition Issued 13/04/2000

Estate Type

FEE SIMPLE

Registered Proprietor

ROBERT ANDREW JOHN LAWRIE
OF PO BOX 36 ROBE SA 5276

Description of Land

ALLOTMENT 83 TOWN OF ROBE
HUNDRED OF WATERHOUSE

Easements

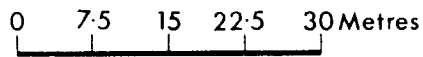
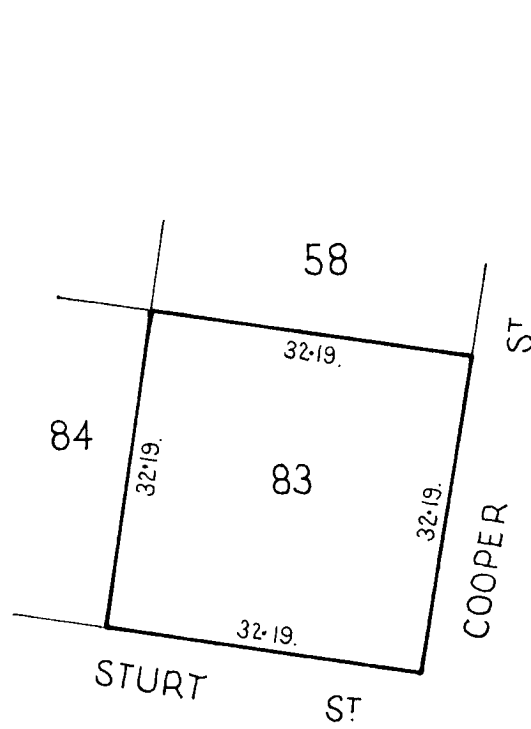
NIL

Schedule of Dealings

Dealing Number	Description
8859222	MORTGAGE TO WESTPAC BANKING CORPORATION

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



Lawrie Residence

7 Sturt Street, Robe

drawing schedule

19-480 DA01	Drawing Schedule and location Plan
19-480 DA02	Site Plan - Proposed
19-480 DA03	Ground Floor Plan - Proposed
19-480 DA04	Roof Plan - Proposed
19-480 DA05	Streetscape East Elevation
19-480 DA06	North and East Elevations
19-480 DA07	South and West Elevations
19-480 DA08	Perspectives



location plan

not to scale



A Development Application LW 03.11.2020

issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING.
ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.
THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

HOSKING Willis
ARCHITECTURE

project

Lawrie Residence, Robe

address

7 Sturt Street, Robe

drawing

Drawing Schedule and location Plan

scale

as shown

drawn

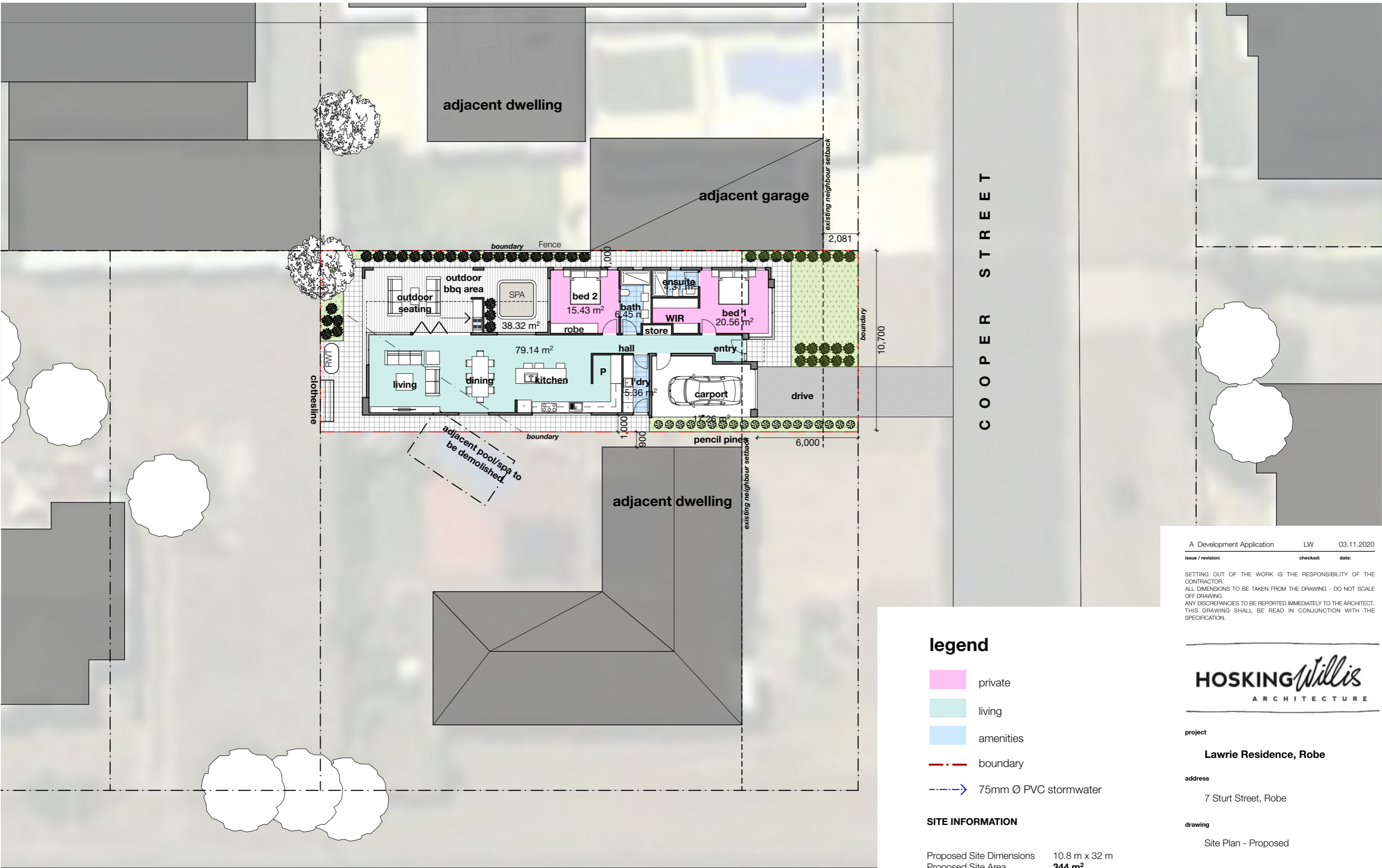
WJ

drwg no

19-480 DA01

A

24



A Development Application LW 03.11.2020
 issue / revision: checked: date:
 SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
 ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING.
 ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

legend

- private
- living
- amenities
- boundary
- 75mm Ø PVC stormwater

SITE INFORMATION

Proposed Site Dimensions	10.8 m x 32 m
Proposed Site Area	344 m²
Internal Area	131.25 m²
Carpport Area	17.26 m²
Deck Area	38.32 m²
Total Floor Area	187 m²



project
Lawrie Residence, Robe

address
 7 Sturt Street, Robe

drawing
 Site Plan - Proposed

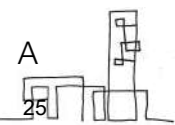
scale drawn
 as shown WJ

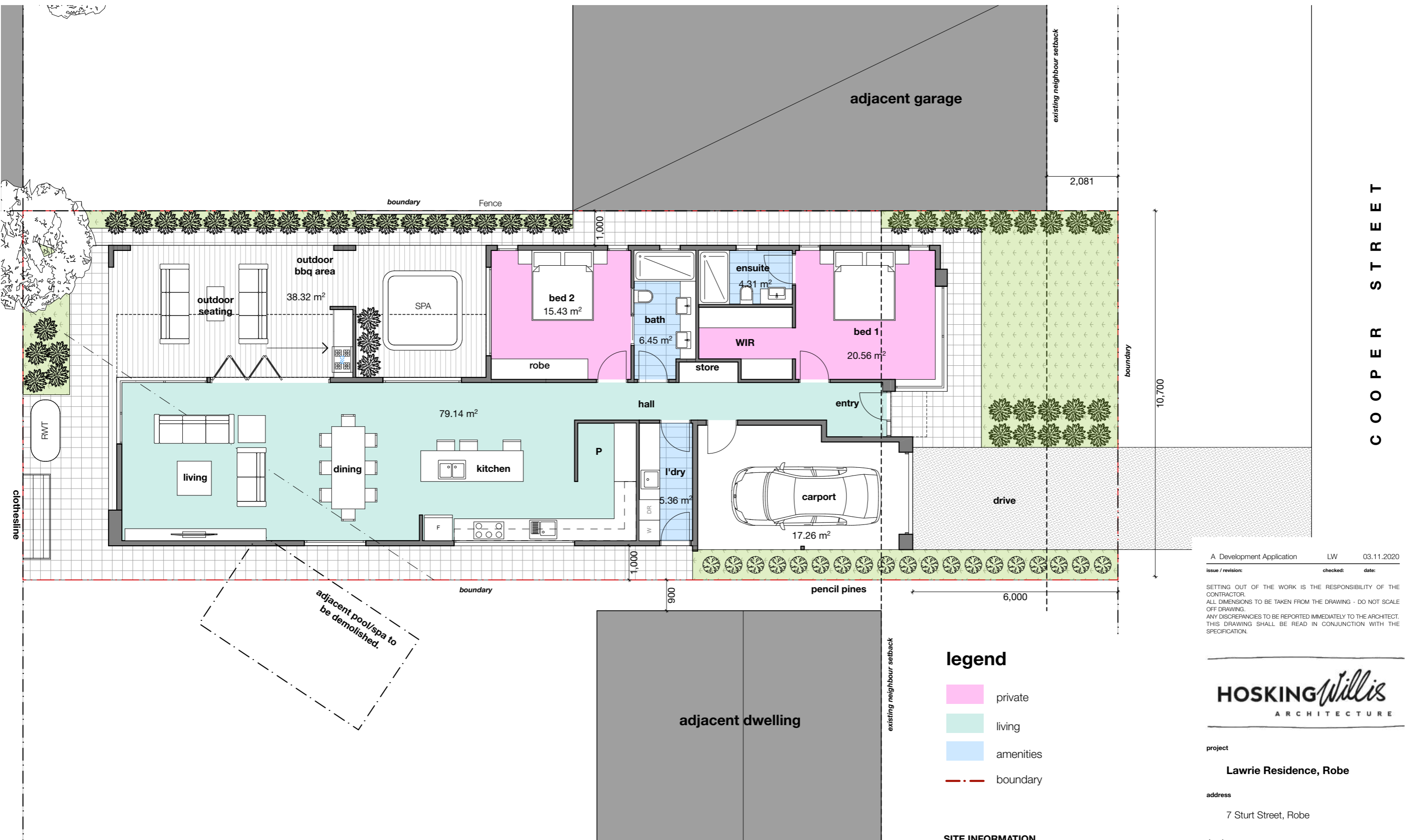
drwg no
 19-480 DA02 A



Site Plan - Proposed
New Lawrie Residence
 7 Sturt Street, Robe

1:200





COOPER STREET

A Development Application LW 03.11.2020
 issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.



project
Lawrie Residence, Robe
 address
 7 Sturt Street, Robe

drawing
 Ground Floor Plan - Proposed

scale drawn
 as shown WJ

drwg no
 19-480 DA03 A

legend

- private
- living
- amenities
- boundary

SITE INFORMATION

Proposed Site Dimensions	10.8 m x 32 m
Proposed Site Area	344 m²
Internal Area	131.25 m²
Carport Area	17.26 m²
Deck Area	38.32 m²
Total Floor Area	187 m²



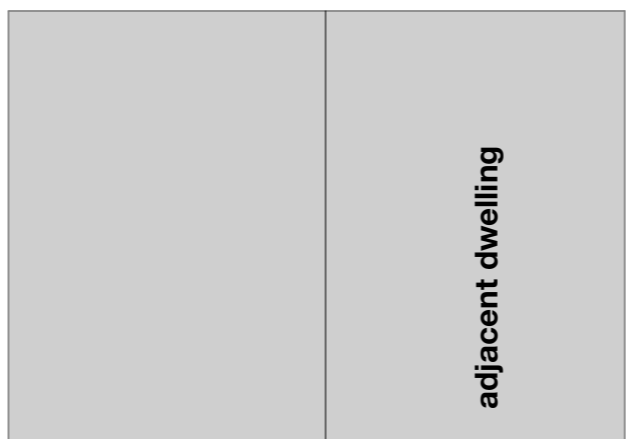
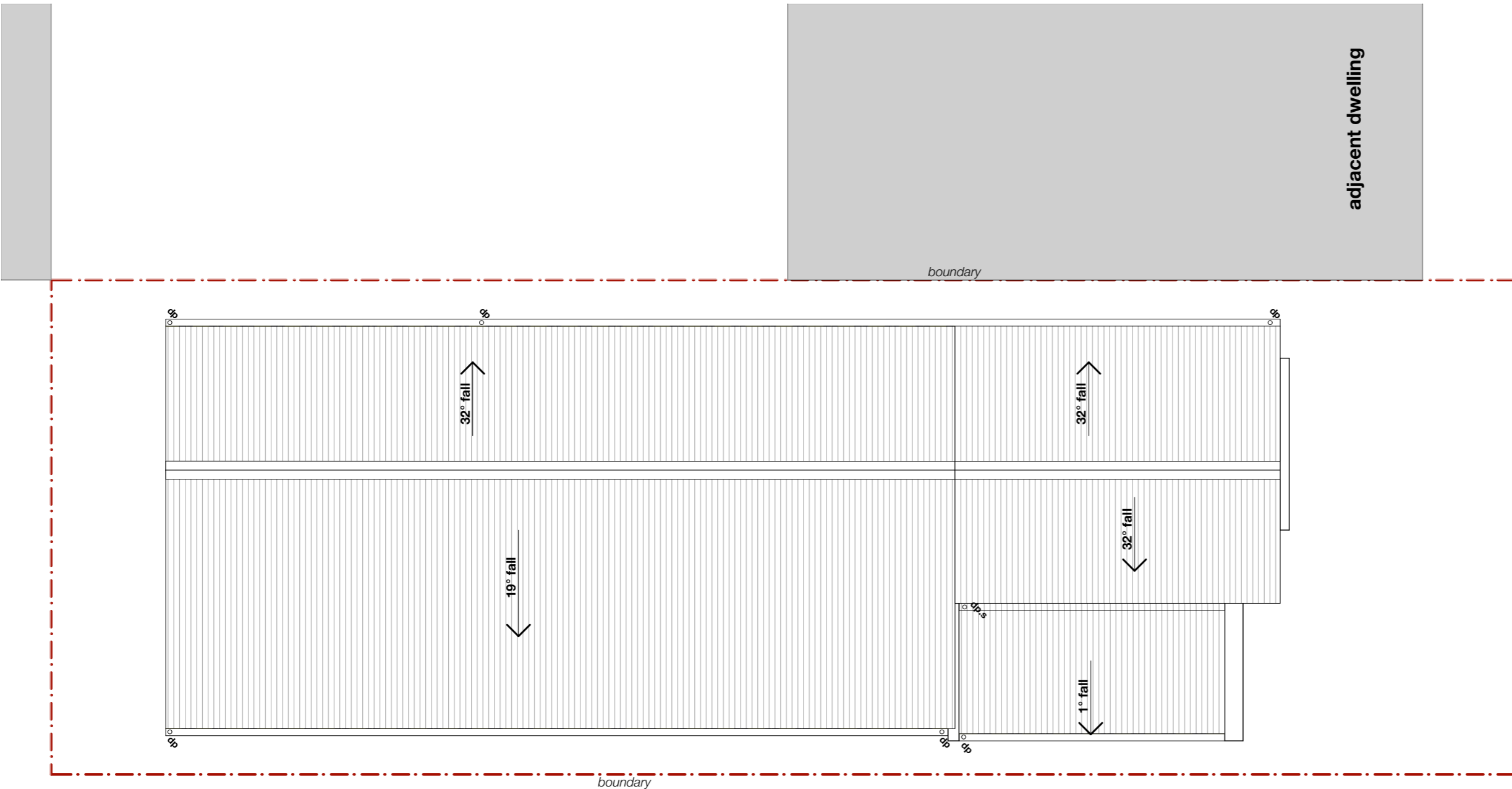
Ground Floor Plan - Proposed 1:100

New Lawrie Residence

7 Sturt Street, Robe

District Council of Robe

CAP Agenda 16 December 2020



A Development Application LW 03.11.2020
 issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
 ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING.
 ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.



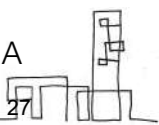
project
Lawrie Residence, Robe

address
 7 Sturt Street, Robe

drawing
 Roof Plan - Proposed

scale drawn
 as shown WJ




drwg no
 19-480 DA04 A

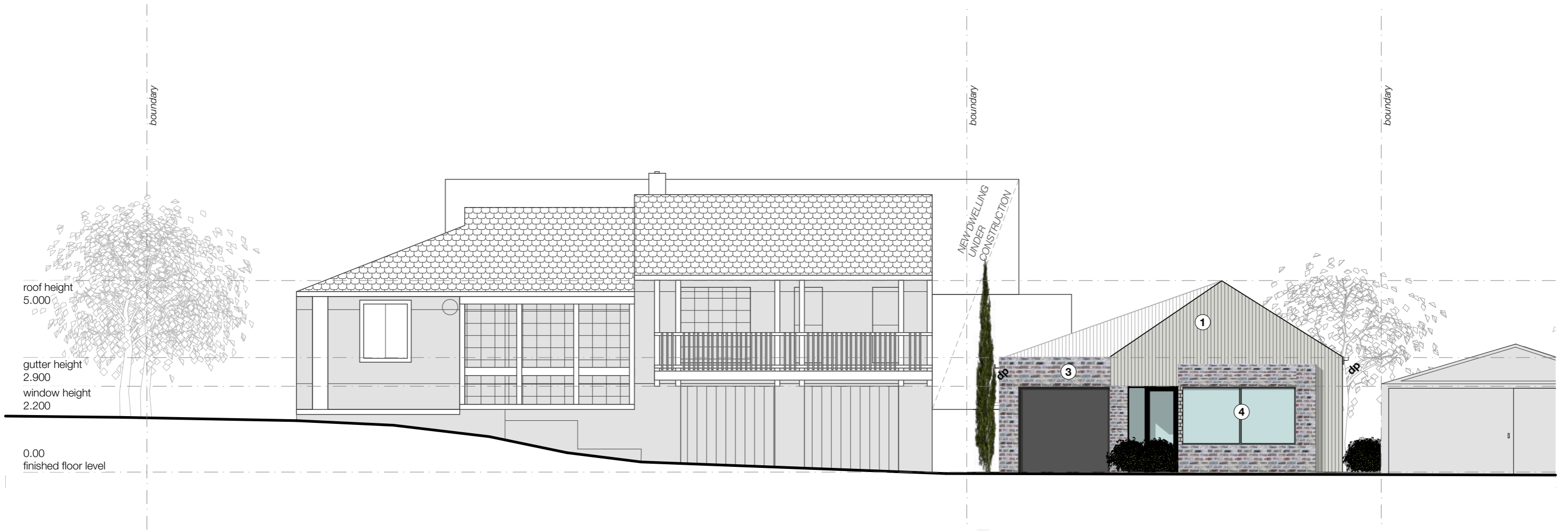


Roof Plan - Proposed
New Lawrie Residence
 7 Sturt Street, Robe

1:100

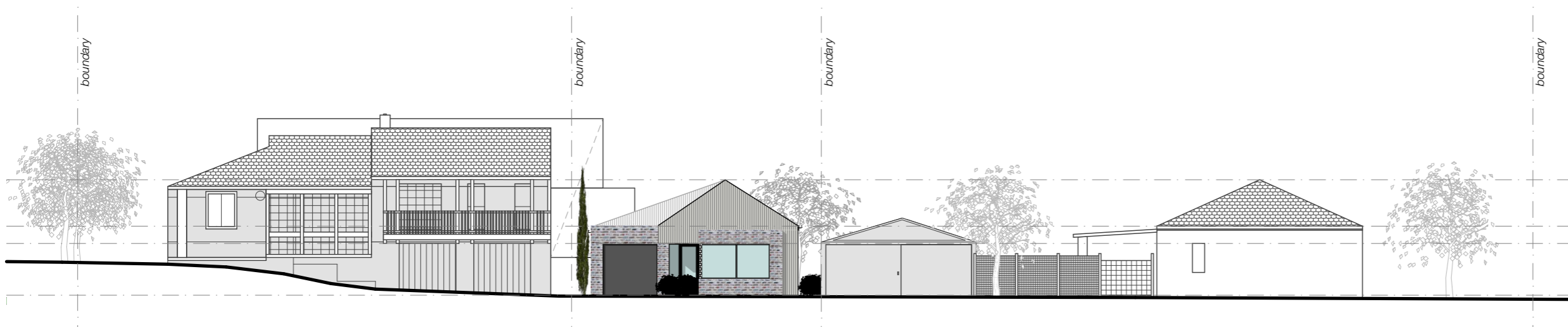
ROOF PLAN LEGEND

-  New corrugated Colorbond roof sheet.
-  75mm Ø downpipe
-  75mm Ø downpipe with spreader



East Elevation

1:100



East Elevation

1:200

Streetscape Elevation

New Lawrie Residence

7 Sturt Street, Robe

District Council of Robe

CAP Agenda 16 December 2020

materials legend

- ① Axon wall cladding. Colour: Surfmist.
- ② Colorbond roof. Colour: Wallaby.
- ③ Face brickwork. Colour: Limewash
- ④ Doors & Windows. Capral Narrowline aluminium framed glazing, powdercoat finish. Colour: Wallaby.
- ⌀ 75mm Ø downpipe.
- ⌀-s 75mm Ø downpipe with spreader.

A Development Application LW 03.11.2020

issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.



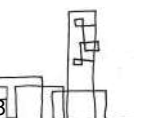
project
Lawrie Residence, Robe

address
7 Sturt Street, Robe

drawing
Streetscape Elevation

scale drawn
as shown WJ

drwg no
19-480 DA05 A





North Elevation



East Elevation

materials legend

- ① Axon wall cladding. Colour: Surfmist.
- ② Colorbond roof. Colour: Wallaby.
- ③ Face brickwork. Colour: Limewash
- ④ Doors & Windows. Capral Narrowline aluminium framed glazing, powdercoat finish. Colour: Wallaby.
- dp 75mm Ø downpipe.
- dp-s 75mm Ø downpipe with spreader.

A Development Application LW 03.11.2020

issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.



project
Lawrie Residence, Robe

address
7 Sturt Street, Robe

drawing
North and East Elevations

scale drawn
as shown WJ

drwg no
19-480 DA06 A

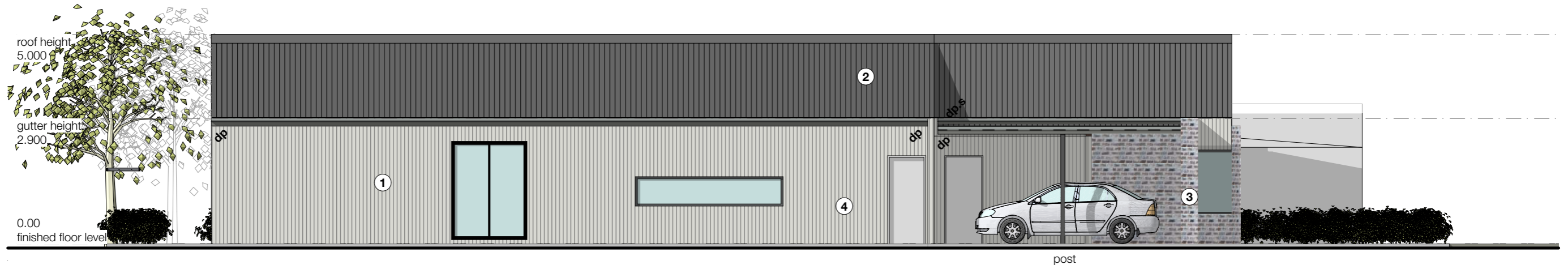


Elevations

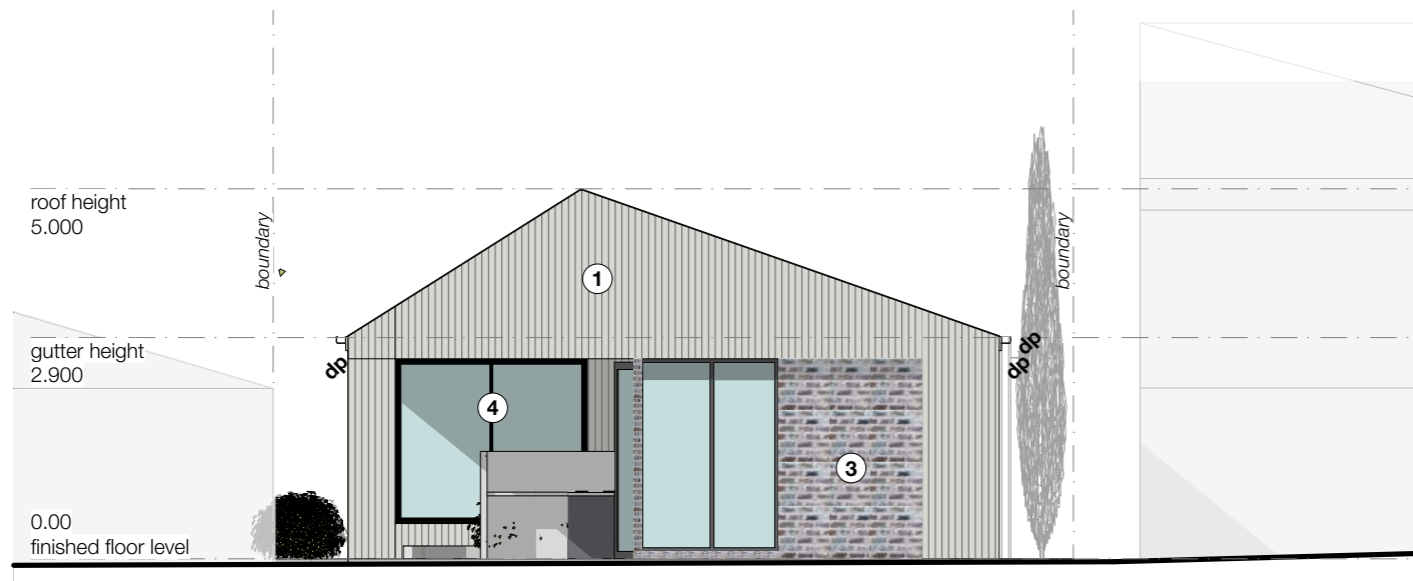
1:100

New Lawrie Residence

7 Sturt Street, Robe



South Elevation



East Elevation

materials legend

- ① Axon wall cladding. Colour: Surfmist.
- ② Colorbond roof. Colour: Wallaby.
- ③ Face brickwork. Colour: Limewash
- ④ Doors & Windows. Capral Narrowline aluminium framed glazing, powdercoat finish. Colour: Wallaby.
- dp 75mm Ø downpipe.
- dp-s 75mm Ø downpipe with spreader.

A Development Application LW 03.11.2020

issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

HOSKING Willis
ARCHITECTURE

project

Lawrie Residence, Robe

address

7 Sturt Street, Robe

drawing

South and West Elevations

scale

as shown

drawn

WJ

drwg no

19-480 DA07 A



30

Elevations

1:100

New Lawrie Residence

7 Sturt Street, Robe



Eastern View Option 06D



Western View Option 06D



Aerial Views



A Development Application LW 03.11.2020
 issue / revision: checked: date:

SETTING OUT OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.
 ALL DIMENSIONS TO BE TAKEN FROM THE DRAWING - DO NOT SCALE OFF DRAWING.
 ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

HOSKING Willis
 ARCHITECTURE

project
Lawrie Residence, Robe

address
 7 Sturt Street, Robe

drawing
 Perspectives

scale drawn
 as shown WJ

drwg no
 19-480 DA08 A



Perspectives

NTS

New Lawrie Residence

7 Sturt Street, Robe

26 October 2020

Ref: 8467cnclet

The Chief Executive Officer
District Council of Robe
PO Box 1
Robe SA 5276

Attention: Michelle Gibbs/Damian Dawson

Dear Michelle and Damian,

RE: Development Application 822/067/20 – Division of land (creation of two Torrens Title allotments from one existing allotment), construction of a single storey dwelling and demolition of existing pool/spa structure at 7 Sturt Street, Robe.

I have been requested by Luke Willis of Hosking Willis Architecture to conduct a review of the above-mentioned development proposal against the relevant provisions of the Council's Development Plan and provide my conclusions on the merits of the proposed development.

In conducting this task, I have considered the following:

- Drawing schedule and location plan (19-480 DA01)
- Site Plan – Proposed (19-480 DA02)
- Ground Floor Plan – Proposed (19-480 DA03)
- Roof Plan – Proposed (19-480 DA04)
- Streetscape East Elevations (19-480 DA05)
- North and East Elevations (19-480 DA06)
- South and West Elevations (19-480 DA07)
- Perspectives (19-480 DA08)
- Correspondence from Damian Dawson (dated Thursday, October 15, 2020)
- Council's Development Plan (Consolidated 15 December 2016)
- South Australian Property and Planning Atlas
- Google Street View

From my review of the Council's Development Plan I note the subject land is located in the Residential Character Zone (as shown on Zone Map Ro/7) and within a Historic Conservation Area (as shown on Overlay Map Ro/7). The land is not listed as being either a State or Local heritage place, but an adjoining property (18 Sturt Street) does contain a Local Heritage place (a cottage).

2.0 SUBJECT LAND AND LOCALITY

2.1 Subject Land

The subject land is a square shaped corner allotment with a primary frontage to Cooper Street of 32 metres and a secondary frontage to Sturt Street of 32 metres. The subject land has a total area of 1024 square metres and is situated on slightly undulating land with gradual fall in elevation from the southern boundary to the northern boundary.

Development of the land includes a two-storey, split level, brick dwelling with an undercroft double garage on the lower elevation of the land. A double width paved at grade driveway provides access between the double door garage and Cooper Street.

The dwelling is sited approximately 6.9 metres from the front property boundary, 3.9 metres from the secondary street boundary and 6 metres from the rear property boundary. The setback to the northern boundary is approximately 11.6 metres. There is a deck and swimming pool to the rear of the dwelling and a small area of private open space behind a wooden fence along part of the southern boundary and an iron sheeting fence between the northern elevation of the dwelling and the northern property boundary.

Vegetation primarily comprises grass ground cover, with small areas of plantings dedicated to landscaping at both at the front and rear of the land. There are no trees on the land which make a significant contribution to the visual amenity of the locality.

2.2 The locality

The locality is characterised by residential development primarily in the form of detached dwellings but with one notable, although not obvious, semi-detached dwelling on the southern side of Sturt Street. The properties on the southern side of Sturt Street are on higher land than the north side, and land continues to fall in height towards Frome Street.

The allotment pattern consists principally of square or rectangle shaped allotments with uniform depths of 32 metres and street frontages/allotment widths ranging between approximately 10.8 metres and 32 metres. The allotments are framed by the grid pattern of the local street network with Cooper Street having a width of approximately 20.5 metres and Sturt, Frome and Hagen Streets being approximately 15 metres wide (including the formed road, kerbing and grassed verges).

The subject land is located in a Historic Conservation Area of a Residential Character Zone however, only one heritage listed place is close to the subject land, being a Local Heritage listed cottage on the south east corner of Cooper and Sturt streets. A State Heritage listed barn building on the north side of Frome Street is approximately 50 metres north of the land but this building has no direct interaction with the subject land.

The scale, style, and finishes of the dwellings in the locality generally differ between properties as the locality has experienced significant change in recent years. Construction of new dwellings and substantial additions and alteration to some existing buildings have modified the built form character. The locality is characterized by a mix of single and two storey dwellings. The subject land and locality are further depicted below in figures 1 and 2.



Figure 1: Subject land from Cooper Street

Source: Google Streetview (Feb. 2010)



Figure 2: Subject site and locality

Source: SA Property & Planning Atlas (Govt SA)

3.0 PROPOSED DEVELOPMENT

From the documents provided by Hosking Willis Architecture I understand the proposed development seeks to create two Torrens Title allotments from one existing Torrens Title allotment as well as the construction of a single storey detached dwelling and demolition of a pool/spa structure.

The division will create a new allotment from surplus land located between the existing dwelling and the land's northern property boundary. The proposed allotment will have a site area of 344 square metres and will have a rectangle shape with a street frontage/width of 10.7 metres and a depth of 32 metres. The allotment will have a primary frontage to Cooper Street. The balance of the existing allotment will be approximately 678 square metres in area and contain the existing dwelling, driveway and associated open spaces.

The proposed dwelling will comprise two bedrooms (one with an ensuite and walk in robe), open plan kitchen, dining and living area, bathroom (with water closet), laundry, and single vehicle carport. A hall will run down the middle of the dwelling to offer internal and external circulation and storage can be provided within the carport and dedicated internal storage spaces within the dwelling. The building will have a total floor area of 187 square metres and stand 5 metres high (measured to the ridgeline of the roof) with wall heights measuring 2.9 metres above the finished floor level.

An under-roof external deck area, which is on the northern side of, and directly accessible from the living area, will include outdoor seating, bbq and spa facilities, while a rainwater tank and clothesline will be placed in the open space at the rear of the dwelling.

The main face of the building is to be setback 5.0 metres from Cooper Street before stepping back to 6 metres to the front of the garage and 6.5 metres to the front entrance. The rear

setback will be 2.5 metres, and 1 metre setbacks will be provided between the dwelling's side walls and the southern and northern boundaries.

Tree plantings, grassed areas and paving will be provided around the dwelling while the carport will be accessed by a single width driveway which will run parallel to the southern boundary.

The existing pool/spa and part of the rear deck associated with the existing dwelling will be removed from the subject land.

The proposed development is more particularly illustrated on the proposal plans.

4.0 DEVELOPMENT ASSESSMENT

The subject land is located in the Residential Character Zone and Historic Conservation Area as illustrated respectively on Zone and Heritage Map Ro/7 of Council's Development Plan, Consolidated 15 December 2017.

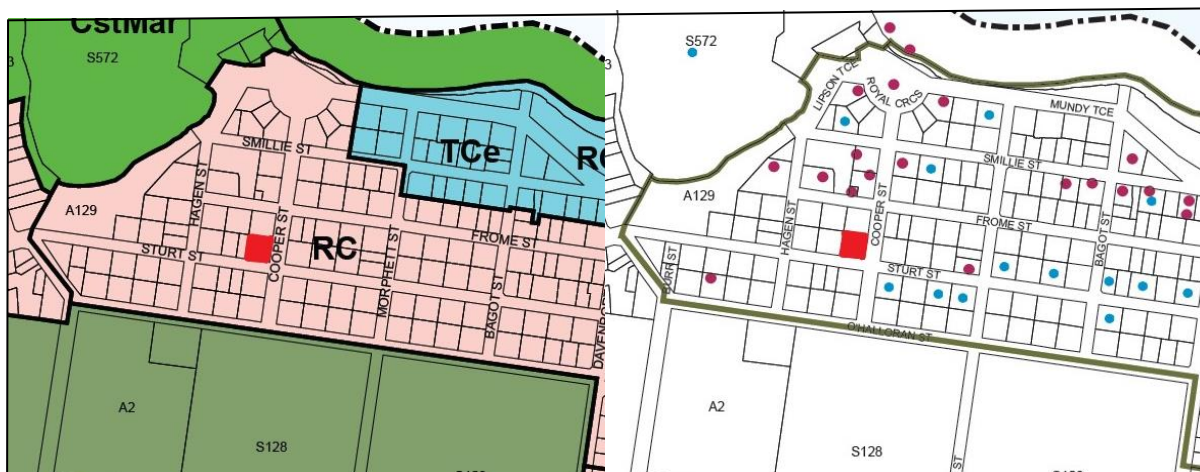


Figure 3: Zone and Heritage Map Ro/7 ■ Subject land **Source:** Robe Development Plan

The proposed development is neither a complying nor a non-complying form of development and as such, must be assessed on its merits having regard to relevant provisions of the Development Plan. Those provisions considered to be relevant to the proposal are as follows:

RESIDENTIAL CHARACTER ZONE

Objectives: 1, 2 & 3

Principles: 1, 3, 6, 7, 8, 12, 13, 14 & 15

General Section

Design and Appearance

Objective: 1

Principles: 1, 2, 3, 4, 6, 8, 11, 15, 16 & 18

Historic Conservation Area

Objectives: 3 & 5

Desired Character Statement

Principles: 1, 4, 5, 7, 8, 10, 14 & 15

Land Division

Objectives: 2, 3 & 4

Principles: 1, 2, 5, 6 & 9

Landscaping, Fences and Walls

Objective: 1 & 2

PDC's: 1, 2, 3 & 4

Residential Development

Objectives: 1, 2 & 3

Principles: 1, 3, 7, 8, 10, 11, 12, 13, 14, 15, 16, 18, 19, 20, 21, 22 & 31

Tables:

Ro/1 - Building Setbacks from Road Boundaries

Ro/2 – Off Street Vehicle Parking Requirements

The following provides a discussion on the proposed development and its compatibility with the provisions considered most relevant to the assessment of the application.

Site size and configuration

Residential Character Zone Objectives

- 1 *A residential zone ensuring the preservation of the existing development patterns and built form.*

Residential Character Zone Principles

- 3 *Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.*
- 15 *A dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:*

Dwelling type	Site area (square metres)	Minimum frontage (metres)
All dwelling types	450 minimum	12 – where fronting an arterial road 10 – all other roads

General Section

Historic Character Area Principles

- 15 *The division of land should occur only where it will maintain the traditional pattern and scale of allotments.*

General Section

Land Division Objectives

- 2 *Land division that creates allotments appropriate for the intended use.*

General Section

Residential Development Objectives

- 2 *An increased mix in the range and number of dwelling types available within urban boundaries to cater for changing demographics, particularly smaller household sizes and supported accommodation.*

3 *Higher dwelling densities in areas close to centres, public and community transport and public open spaces.*

The proposed allotment has a site area of 344 square metres. This is less than the minimum area prescribed by PDC 15 of the Residential Character Zone however, it must be noted the frontage of the development will be 10.8 metres. The width of the proposed site exceeds the minimum frontage width prescribed by the same provision.

Further, investigations of the existing allotments within the locality confirmed the depth of the proposed allotment, at 32 metres, will be the exact same depth as all the surrounding allotments and the general locality. The prescribed site area would be satisfied had the proposed allotment had a depth of 42 metres but, given the depth of all surrounding allotments, such a scenario would disrupt the uniformity of the traditional allotment pattern of the locality.

Adding to this is the existence of other allotments within the locality which either have site areas of less than 450 square metres or which have been previously divided to enable infill developments. Figure 4 below depicts such allotments within proximity to the subject land and confirms allotments are of varying sizes within the locality.

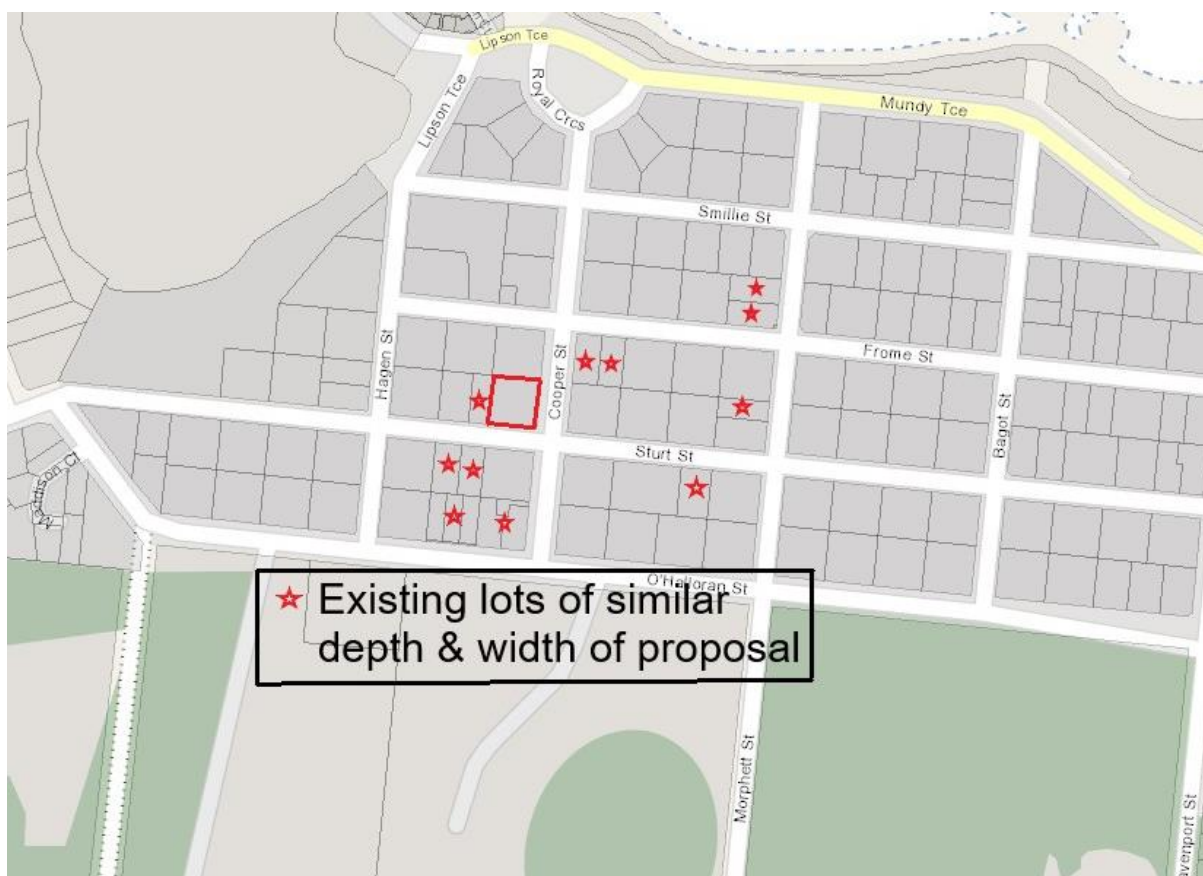


Figure 4: Allotment analysis of locality

I contend the proposed allotment will be consistent with the pattern and scale of allotments of the locality especially on the grounds of the frontage width satisfying the relevant zone provision and the shape and depth of the land being compatible with existing allotments.

I also note the Zone provides support for greater housing choice with higher density infill development close to centres, transport and public open spaces. I recognise the land is close to important public services like the Robe Medical Centre, Council offices and library,

an Australia Post facility and the Robe sports and recreational grounds on O'Halloran Street. I anticipate the proximity of these facilities to the subject land justify the possibility of more dense development opportunities.

The proposed allotment will also satisfy the general provisions of the Development Plan which relate to land division, as listed below.

General Section Residential Development Principles

- 1 *Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:*
 - (a) *the siting and construction of a dwelling and associated ancillary outbuildings*
 - (b) *the provision of landscaping and private open space*
 - (c) *convenient and safe vehicle access and off street parking*
 - (d) *passive energy design.*
- 3 *Residential allotments should be of varying sizes to encourage housing diversity.*

General Section Land Division Objectives

- 4 *Land division that is integrated with site features, including landscape and environmental features, adjacent land uses, the existing transport network and the availability of infrastructure.*

Land Division Principles

- 1 *When land is divided:*
 - (a) *stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner*
 - (b) *a sufficient water supply should be made available for each allotment*
 - (c) *provision should be made for the disposal of wastewater, sewage and other effluent from each allotment without risk to health*
 - (d) *proposed roads should be graded, or be capable of being graded to connect safely and conveniently with an existing road or thoroughfare.*

I believe the subject land is suitably located to support higher density infill development and I am satisfied the configuration of the proposed allotment, with a frontage width which satisfies the requirements of the relevant Zone and a depth which is the same as all adjoining allotments, will preserve existing development patterns and character elements, especially within the immediate streetscape. I do not consider the pending allotment to be in conflict with the allotment pattern or character of the locality

Design and Siting of proposed dwelling

Residential Character Zone Objectives

- 2 *Infill development that is designed to reflect the traditional character elements of the area, particularly as presented to the streetscape.*
- 3 *Development that contributes to the desired character of the zone and the Historic Conservation Area.*

Residential Character Zone Principles

- 1 *The following forms of development are envisaged in the zone:*

- dwelling
- 6 *Development should not be undertaken unless it is consistent with the desired character for the zone and for the Historic Conservation Area.*
 - 12 *Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 33 per cent of the allotment or building site frontage width, whichever is the lesser distance.*
 - 13 *Dwellings should be designed within the following parameters:*

Parameter	Value
Minimum setback from primary road frontage <i>(where the building is not in proximity to a heritage place)</i>	6 metres
Minimum setback from secondary road frontage <i>(where the building is not in proximity to a heritage place)</i>	3 metres
Minimum setback from side boundaries	1 metres
Minimum setback from rear boundary	5 metres
Maximum site coverage	50 per cent
Maximum building height	6.5 metres
Minimum area of private open space	20 square metres per bedroom or room that may be used as a bedroom
Minimum number of on site car parking spaces <i>(one of which should be covered)</i>	2

General Section

Design and Appearance Objective

- 1 *Development of a high architectural standard that responds to and reinforces positive aspects of the local environment and built form.*

Design and Appearance Principles

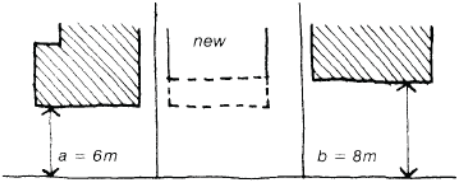
- 1 *The design of a building may be of a contemporary nature and exhibit an innovative style provided the overall form is sympathetic to the scale of development in the locality and with the context of its setting with regard to shape, size, materials and colour.*
- 2 *Buildings should be designed and sited to avoid creating extensive areas of uninterrupted walling facing areas exposed to public view.*
- 3 *Buildings should be designed to reduce their visual bulk and provide visual interest through design elements such as:*
 - (a) *articulation*
 - (b) *colour and detailing*
 - (c) *small vertical and horizontal components*
 - (d) *design and placing of windows*
 - (e) *variations to facades.*
- 4 *Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise:*
 - (a) *the visual impact of the building as viewed from adjoining properties*

- (b) *overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings.*

16 *The setback of buildings from public roads should:*

- (a) *be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality*
 (b) *contribute positively to the streetscape character of the locality*
 (c) *not result in or contribute to a detrimental impact upon the function, appearance or character of the locality.*

17 *Except where specified in a particular zone, policy area or precinct, the main face of a building should be set back from the primary road frontage in accordance with the following table:*

Setback difference between buildings on adjacent allotments	Setback of new building
Up to 2 metres	The same setback as one of the adjacent buildings, as illustrated below:  <p style="text-align: center;"><small>When $b - a \leq 2$, setback of new dwelling = a or b</small></p>
Greater than 2 metres	At least the average setback of the adjacent buildings.

General Section

Historic Conservation Area Objectives

- 3 *Development that complements the historic significance of the area.*
- 5 *Development that contributes to desired character.*

Historic Conservation Area Desired Character

The purpose of the Residential Character Zone is focussed more on single storey housing although small-scale tourist accommodation in the form of intimate and personalised cottage-style dwellings and bed and breakfast accommodation.

Historic Conservation Area Principles

- 1 *Development should not be undertaken unless it is consistent with the desired character for the Historic Conservation Area.*
- 4 *Development should take design cues from the existing historic built forms. In doing this, it is not necessary to replicate historic detailing; however design elements for consideration should be compatible with building and streetscape character and should include but not be limited to:*
- (a) *scale and bulk*
 (b) *width of frontage*
 (c) *boundary setback patterns*
 (d) *proportion and composition of design elements such as roof lines, pitches, openings, verandahs, fencing and landscaping*
 (e) *colour and texture of external materials*
 (f) *visual interest.*

- 5 *New residential development should include landscaped front garden areas that complement the desired character.*
- 8 *Roofs should have the following characteristics:*
- (a) *be of a hipped or gabled design with spans between 4 to 6 metres and a maximum roof span between 6 and 8 metres*
 - (b) *roof pitches of new buildings should be between 25 to 35 degrees, with lower pitched roofs used only in the manner of 'lean-to' additions to existing buildings or behind appropriately designed parapets, especially along street frontages*
 - (c) *traditional roof colours should be used in any new building and should not include zincalume, white, blue, black, light grey or sand colours*
 - (d) *gutters should be 'D', 'OG' or 'half round' profile.*
- 14 *Development should respect the existing topography and the relationship of sites to street levels and to adjoining land and not involve substantial cut and/or fill or sites.*

General Section
Residential Development Principles

- 15 *Dwellings should be set back from allotment or site boundaries to:*
- (a) *contribute to the desired character of the area*
 - (b) *provide adequate visual privacy by separating habitable rooms from pedestrian and vehicle movement.*
- 16 *Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:*
- (a) *minimise the visual impact of buildings from adjoining properties*
 - (b) *minimise the overshadowing of adjoining properties.*
- 31 *Driveway crossovers should be single width and appropriately separated, and the number should be minimised to optimise the provision of on-street visitor parking.*

The proposed dwelling will have a single storey form with a building presentation to Cooper Street comprising large front window, entry porch with front door and a single width carport. The finish will include a combination of face brick work in a limewash colour, axon cladding in a surfmist colour and a gable roof form with colorbond roof sheeting in a wallaby color. The building's scale, design, finish and colours are comparable with other developments within the locality and the single storey form is consistent with the provisions of the Zone.

The building will be setback 5 metres from the street boundary and behind a landscaped garden area with a single width driveway. The front yard space will have an area of some 55 square metres. The carport will be setback 6 metres from the street boundary giving the land capacity to accommodate two (2) parked vehicles. The side walls of the dwelling will be setback 1 metre from the side boundaries.

The proposed building satisfies the minimum side setbacks but it is acknowledged part of the dwelling will not satisfy the prescribed 6 metre setback of the development plan. Yet, the front setback shortfall is not considered a fatal element of the development given the characteristics of Cooper Street and the siting of other developments within the streetscape.

Firstly, Cooper Street is one of the wider streets of the locality and has grassed road verges approximately 6 metres in depth. The depth of verges of Frome, Sturt and Hagen streets are in the order of 3 to 4 metres, making the Cooper Street verges the widest of all the local

streets. The generous grassed expanse of the street's verges has a strong influence on the open character of the locality.

Secondly, many of the existing developments with frontages to Cooper Street have setbacks which are either less than, or equal to, those of the proposed dwelling. Furthermore, 6 Frome Street has a large domestic outbuilding which sits on the shared boundary with the subject land and is setback just over 2 metres from the Cooper Street boundary. The setback of the existing dwelling on the land is approximately 6.9 metres. The average distance of the two buildings is 4.45 metres. The proposal will be sited within the streetscape in accordance with Council wide Design and Appearance Principle 16.

The proposed dwelling will have a siting and presentation which will not create conflict with other developments in the street and the building will only be apparent when in immediate vicinity of the subject land.

It is also noted the rear setback of the building will be less than the 5 metres prescribed within the Zone. Again, from an examination of the siting characteristics of other properties in the locality it is noted many buildings and structures are either on rear boundaries or have setbacks which are less than 5 metres.

The setback to the rear boundary is considered acceptable given the building's height will have minimal visual and overshadowing impacts on adjoining properties due to its small and low scale nature. The rear setback element is not expected to be detrimental to adjoining properties or the character of the locality given the building's siting and scale, the topography of the land, and the position of outbuildings on adjoining land to the north.

General Section Residential Development Principles

19 *Site coverage should be limited to ensure sufficient space is provided for:*

- (a) pedestrian and vehicle access and vehicle parking*
- (b) domestic storage*
- (c) outdoor clothes drying*
- (d) a rainwater tank*
- (e) private open space and landscaping*
- (f) front, side and rear boundary setbacks that contribute to the desired character of the area*
- (g) convenient storage of household waste and recycling receptacles.*

20 *Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:*

- (a) to be accessed directly from the internal living areas of the dwelling*
- (b) generally at ground level to the side or rear of a dwelling and screened for privacy*
- (c) to take advantage of but not adversely affect natural features of the site*
- (d) to minimise overlooking from adjacent buildings*
- (e) to achieve separation from bedroom windows on adjoining sites*
- (f) to have a northerly aspect to provide for comfortable year-round use*
- (g) to not be significantly shaded during winter by the associated dwelling or adjacent development*
- (h) to be shaded in summer.*

21 *Dwellings should have associated private open space of sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site.*

22 *Private open space should not include driveways, effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space in residential flat buildings and group dwellings, and should have a minimum dimension of:*

(a) 2.5 metres for ground level or roof-top private open space

The dwelling has a design which provide internal and external activity areas with good access to natural light. The internal living spaces will be accompanied by external private space of some 65 square metres which will comprise tree plantings, small, grassed areas and under-roof spa, bbq and outdoor seating amenities. Other external areas, not included in the private open space area calculations, will contain a clothesline and rainwater tank. Although not shown on the plans, bin storage and plant equipment for air conditioning units can also be easily accommodated on the land without impact to the private open space.

The development will be moderately greater than the 50 percent site coverage prescription, but I believe the dwelling, with its modest, two (2) bedroom offerings, will nevertheless still enjoy a respectable level of amenity and functionality which satisfy the general requirements for residential development.

Having regard to the dwelling's bulk and scale, siting and design it is unlikely the development will become a dominant element in the locality. Its discreet scale is unlikely to cause unacceptable visual impacts on the streetscape or adjoining properties and is a suitable development envisaged for the land. The development will be consistent with the character and form of the existing development within the locality as envisaged by the Residential Character Zone, Historic Conservation Area and other general residential and design provisions within the development plan.

Closing observations

Before concluding this assessment, I think it relevant to briefly acknowledge the significant design constraints placed on new dwellings within the locality, particularly by the Historical Character Area provisions. In this respect I believe the dwelling satisfies the general design expectations imposed by the Development Plan and with respect to development in the locality which dates from the 1970s to more contemporary development. I believe the locality has limited heritage character and there being no relevant heritage considerations applicable to site of the proposed development.

Nevertheless, the dwelling has a scale and design which will be consistent with adjoining development. The dwelling will sit behind a landscaped front yard which will suitably address the street and the carport appearance, being behind the main line of the building rather than in line with it, will limit its influence within the streetscape. The dwelling will not dominate the character of Cooper street but is expected to subtly complement adjoining development.

Furthermore, it is evident there are many allotments which are of comparable scale and configuration to the proposed site. These developments now contribute to the character of the locality however the presence of the proposed dwelling will be considerably more discreet than other recent developments.

Finally, the site of the subject land to be occupied by the proposed development is surplus to the use of the subject land and under-utilised. Should the proposal not proceed then it can be reasonably anticipated the space will eventually be occupied by domestic sheds or other similar structures. Such building types are more likely to detract from the visual appearance and character of the locality than the proposed development. I believe the land has capacity

to be used more efficiently and productively, especially with regarding to increasing housing choice while avoiding unmanageable demands on public infrastructure.

As expressed above, the size of the proposed allotment does not prevent the reasonable development of the land for a residential purpose and the proposed dwelling, notwithstanding some minor inconsistencies with the provisions of the Development Plan, will appropriately enhance the character of the locality.

7.0 CONCLUSION

I have considered this proposal and believe there is merit to the proposal, notwithstanding the “line ball” reservations held by others. I note in correspondence to the Applicant a reference to the “tightness” of the allotment and the loss of space between existing developments as being fatal elements of the proposed development.

I do not share these conclusions, especially given the proposal’s width, building scale and setback to the front and side boundaries, provision of adequate private open space, on-site parking and site coverage. All these elements of the proposal either entirely satisfy, or are suitably consistent with, the relevant requirements of the Development Plan.

I respectfully suggest the proposed development warrants the support of the Council and a Development Plan Consent be granted to the proposed development.

Should you have any questions in respect to the above, or require any further information please do not hesitate to contact the undersigned on 81307222

Yours sincerely,



Adam Williams
ACCESS PLANNING (SA) PTY LTD

ATTACHMENT B

Heritage Advisor Comments

From: Richard Woods <richard@habitableplaces.com.au>

Subject: Re: 7 Sturt Street, Robe Heritage Assessment

Hi Damian

Thank you for referring the above application that is in the Heritage Overlay for Robe.

This is a mid-block site, sandwiched between two intrusive buildings that detract from the heritage character. There are state and local heritage buildings in the locality but not the immediate vicinity.

Assessment

Site coverage

PDC 1 Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:

- (a) the siting and construction of a dwelling and associated ancillary outbuildings.*
- (b) the provision of landscaping and private open space.*

General Residential Development PDC 19

Site coverage should be limited to ensure sufficient space is provided for:

- (e) private open space and landscaping*
- (f) front, side and rear boundary setbacks that contribute to the desired character of the area*

The outdoor living areas are included under the main roof at the rear of the dwelling. As a result the proposed dwelling takes up most of the small site and the built form / site coverage is excessive relative to the historic area.

The outdoor areas under the main roof are not open space. The roof over contributes to the bulk and minimal setbacks of the rear part of the dwelling. The rear setback is a service zone. This will impact the adjoining back yards but would have no streetscape impact.

The excessive site coverage would also impact the amenity of the site and adjoining outdoor living spaces because there is not sufficient space for vegetation of a suitable scale to soften the built form (trees). Trees are part of the desired heritage character of the area.

On balance, I consider that PDC 1 and 19 are not satisfied.

Built Form

RCZ PDC2 Infill development that is designed to reflect the traditional character elements of the area, particularly as presented to the streetscape.

HCA PDC4 Development should take design cues from the existing historic built forms. In doing this, it is not necessary to replicate historic detailing; however design elements for consideration should be compatible with building and streetscape character and should include but not be limited to:

- (a) scale and bulk*
- (b) width of frontage*
- (c) boundary setback patterns*
- (d) proportion and composition of design elements such as roof lines, pitches, openings, verandahs, fencing and landscaping*
- (e) colour and texture of external materials*
- (f) visual interest.*

As a mid-block infill building, assessed for streetscape impact, the bulk and scale of the proposed dwelling - the gable facade and the parapet carport - is appropriate. The proposed dwelling will presents a smaller streetscape bulk and scale compared to the dominant adjacent dwelling on the Sturt Street corner. The facade its articulated and well composed.

However the masonry carport parapet in its current form dominates the facade due to its height and proportions.

Front Fences

HCA PDC5 New residential development should include landscaped front garden areas that complement the desired character.

Many residential sites in the heritage overlay including 7 Sturt Street, do not have front fences. This lack of street edge definition and enclosure severely erodes the desired historic streetscape character Robe.

The proposal in its current form has no front fences. I recommend that front fences or walls and landscaping should form part of this application, They should be conditioned to be completed prior to occupation. The front fence height and materials should be consistent with the built form. High front fences are not appropriate.

Recommendations

On balance, I consider that, subject to the following recommendations, the proposed development will not have an adverse impact on the Historic Conservation Area. The excessive site coverage is a separate planning matter.

1 The height of the parapet wall above the carport roller door should be reduced to match the height of the masonry feature on the facade of the dwelling. *Reason. To reduce the bulk and visual dominance of the carport*

2 The street frontage and the return boundaries forward of the building line should be fenced. Fence height and materials should be consistent with the built form. *Reason: To complement the design historic streetscape character.*

Regards

Richard Woods
Limestone Coast Heritage Adviser